(This SWPPP Template is for the **Common Plan** Permit Only, and does **NOT** address SWPPP requirements found in the CGP.)

Common Plan SWPPP for

Lot 8 Huntsman Estates

Project Address: 4867 Legacy Way

Park City, UT 84060

McNulty Construction Company

1526 W. Ute Blvd. Ste. 206 Park City, UT 84098

NOI Permit Number UTRH05833

September 16, 2022



1. Project Information

Project Name: Lot 8 Huntsman Estates Project Address: 4867 Legacy Way Park City, UT 84060

General Contractor: McNulty Construction Company Contact Person: Mike McNulty

Address: 1526 W. Ute Blvd. Ste. 206 Park City, UT 84098

Telephone Number: 435-659-9765 Email Address: mike@mmconst.com

Answering "yes" to the question below means the project is not eligible for this permit. Is the project in Indian Country? Answering "no" to the question below means the project is not eligible for this	Yes 🗆	No 🛛
permit. Is the project a residential building on a single lot and disturbing one acre or less?	Yes 🛛	No 🗆

2. Pollution Sources/Best Management Practices

Answer yes or no whether the following features are located at your site. If yes, select the BMP(s) that will be used to protect each feature. If no, continue to the next question. Attach necessary illustrated details for proper installation in Appendix G, and show locations of all controls on Site Map in Appendix A.

- **2.1** Is there a SWPPP sign on site? (see permit part 1.10) Yes ⊠ Required The sign must include the UPDES tracking number, the owner or general contractor name, phone number and email, and if the SWPPP is on-line, instructions on how to view it. The size requirement is to be readable from a publicly accessible point.
- 2.2 Will there be construction dewatering on the site? (see permit part 2.7) Yes □ No ⊠ BMP(s): □ Dewatering of the construction area is needed and a separate dewatering permit has been obtained to treat and discharge water. Construction Dewatering (if discharged offsite) must be covered by UPDES Permit UTG070000. □ Water from the dewatering of the construction area will be infiltrated on site.
- **2.3** Will there be non-storm water discharges on the site? (see permit part 1.3) Yes □ No ⊠ Allowable discharges include: Flushing of drinking water or irrigation water (not including wash or cleaning waters), water used for dust control, spring water or groundwater not exposed to construction activities, water from emergency fire-fighting activities, and water from foot drains not exposed to construction activities. (see permit part 2.4.5 & 2.9).

Please list all anticipated non-storm water discharges: Click here to enter text. What will you do to manage the non-storm water discharges? *Please list direct discharges, contained non-storm water discharges, and discharges that are treated separately.*

All non-storm water discharges that are not allowed are properly contained (see questions 2.12 and 2.16) □ All non-storm water discharges that are contaminated with sediment only (free of chemicals, oils, etc.) will be treated in a sediment basin or equivalent (see permit part 2.8.1). □ Other: Click here to enter text. 2.4 Is it possible for the total area of disturbance to be phased, minimizing the Yes 🗆 No 🛛 total exposure of disturbed soil at one time? (see permit part 2.3.1) If disturbance can be minimized please show the locations on the site map and summarize (here) where disturbances will be delayed for some of the disturbed area: Click here to enter text. 2.5 What perimeter controls will be used to prevent sediment from leaving the site? (permit part 2.1.2 & 2.3) BMP(s): □ Berms Silt Fence □ Vegetative Buffer Cut-Back-Curb □ Weighted Wattles □ Staked straw Wattles (Fiber Rolls) **Other:** Click here to enter text. 2.6 Are surface waters located within 30 feet of your project's earth Yes 🗆 No 🖾 disturbances? Note: A 30' natural vegetative buffer MUST be maintained by water bodies. If a buffer less than 30' is used, you must demonstrate that the additional controls offer the same protection as a 30' natural vegetative buffer, and select the reason for exemption below. (see permit part 2.3.5) BMP(s): □ 30' Natural Vegetative Buffer If less than 30' Natural Vegetative Buffer select additional Controls: □ 2 Silt Fence Barrier □ 2 Straw Wattle Barriers (Fiber Roll) □ Other: Click here to enter text. 2.7 Are there critical or sensitive areas (such as preservation of the drip lines Yes 🗌 No 🖂 around trees, wetlands, buffer zones by water bodies, etc.) located on or adjacent to the site? (see permit part 2.2) BMP(s): □ Separate and isolate with environmental fencing □ Other: Click here to enter text. 2.8 What track out control will be used to prevent dirt from being tracked on streets as vehicles leave the site? (see permit part 2.4.1) BMP(s): Track Out Pad Cobble Gravel Rumble Strips Wash Down Pad □ Delivery Pad Restricted Site □ Selective Access During Dry Weather (Dry soil) Access □ Other: Click here to enter text. 2.9 Do you have storm drain inlets on or down gradient of this site? (see permit Yes 🗆 No 🖂 part 2.1.3) Protection must address the curb inlet opening (throat) as well as the grate. Where is/are the nearest downstream inlet(s) and how will you protect them: There are 2 inlets approximately 200 feet downhill from the property BMP(s): □ Rock/Sand-filled Bags □ Drop Inlet Bags □ Filter Fabric □ Gravel or Sand filled Wattles

		Proprietary inlet devices Other: Click here to enter text.			
2.10		mps be used at the site? (see permit part 2.4.2		Yes 🗆	No 🛛
	If curb ramp BMP(s):	os are used it must be done with material [not d □ Crushed Rock	-	-	ז water.
	DIVIP(S).	Other: Click here to enter text.	Wood/Steel Ran	nps	
2.11		e stockpiles or spoil piles on the site?	-	∕es ⊠	No 🗆
		t "Contained by other BMP" if another BMP on y Materials that can be transported with precipita 1 1)			
	BMP(s):	Surrounded by Silt Fence	\Box Surrounded by S	Staked Straw	1
		Covered with Tarp	Wattles		
			🗌 Temporary – Re		-
		 Contained by other BMP. Explain: Silt fend construction activity, and will therefore also Other: Click here to enter text. 	<i>.</i> .	•	of all
2.12	-	roject include installation of concrete, masonry c in this project? (see permit part 2.4.5 & 2.9.1)	y, stucco, and paint (wa	ater Yes 🗵	🛛 No 🗆
		r must be contained, the solids dried, and dispo			
	BMP(s):	□ Lined Depression	Steel Dumpste	r!	
		 Regional Washout (per development) Other: Eco pan is specified, but any equiv 	alant washout is normi	ttad	
			alent washout is permi	lleu	
2.13	Light trash i	lid waste be dealt with on the site? (see permit in uncovered dumpsters can blow out and scatte	er with wind and rain m		covered
		paterial in the dumpster and leak out the botton			
	BMP(s):	Bag Lightweight Trash Receptacles with Lids	☑ Leak Proof Dum ☑ Other: Click hei		tovt
				e to enter	lext.
2.14	Will there b permit part 2	e a need to dispose of solvents, oil, fuel, etc. l .9)	iquid waste? (see	Yes 🗆	No 🛛
	BMP(s):	\square Contained and Removed from the site	\Box Collected for Re	use	
		\Box Other: Click here to enter text.			
2.15	How will sa	nitary waste be handled on the site? (see perm	iit part 2.4.4)		
	BMP(s):	oxtimes Portable Toilet(s) (must be staked down of	on dirt surface & 10' fro	m curb)	
		Onsite or Adjacent Indoor Bathrooms			
		 Portable Toilet Secondary Containment (s Other: Click here to enter text. 	secured down with stra	ps to heavy v	weights)
2.16	How will va	ou minimize the discharge of pollutants from s	pills and leaks? (see per	mit part 2.8.3)
-	BMP(s):	□ Use of drip pans	Soffsite fueling,		-
		⊠ Spill kit	Spill response		
		\Box Other: Click here to enter text.			
					_
2.17	Will there b	e a need to store construction materials on sit	te? (see permit 2.8.2)	Yes 🛛	No 🗆

		e exposure of materials with a pollut esticides, herbicides, detergents).	tion risk (certa	in building an	d landscaping ma	aterials,
	BMP(s):	Covering Erodible or Liquid Mate	erials [□ Secondary C	Containment	
		🛛 Strategic Storage and Staging	Γ	□ Stored off-s	ite	
		\square Enclose them in a weather proo	f shed.			
		\Box Other: Click here to enter text				
2.18	Does your sit	e have steep slopes (greater than 70	0%)? (see permi	it part 2.3.2)	Yes 🗆	No 🛛
	BMP(s):	Erosion Control Blanket			bance on slope	
		□ Seeding		☐ Hydroseed	·	
				 □ Takifiers		
		\Box Other: Click here to enter text	t.			
2.19	Are there sit	e conditions that cause storm water	flows with hig	ghly erosive	Yes 🗆	No 🖂
	velocities? (s	ee permit parts 2.3.3 and 2.3.4)				
		e controlled to minimize sediment tro	ansport.			
	BMP(s):	Gravel Check Dam	•	ttles (Fiber Ro	lls) Check Dam	
	(-)	□ Divert Flows around the Site		•	p, geotextile, oth	er)
		□ Other: Click here to enter tex				.,
			C •			
2.20	-	u reduce storm water volume to min	imize sedimer	nt transport, c	hannel and strea	m bank
		e permit parts 2.3.4 and 2.3.3)	of storm wat	ar out back ou	rh ar athar ta ha	الم م م م
	BMP(s):	☑ Utilize basin, depression storage infiltrate.				
		Prevent heavy equipment (as m will infiltrate easier.	uch as possible	e) from compa	cting soil so storr	n water
		\Box Rip soil after heavy equipment h	has caused con	npaction.		
		□ Other: Click here to enter text	t.			
2.21		ed for dust control on the site (regul	atory or for pr	actical	Yes 🛛	No 🗆
	reasons)?		г			
	BMP(s):	Wetting with Water			iles with a tarp	
		Use Magchloride, Calcium Chlor	-			
		□ Stabilize surface with mulch, gra		urface cover		
		□ Other: Click here to enter tex	τ.			
2.22	Will there be	e disturbed areas on the site that wi	ll need to be te	emporarily	Yes 🗌 🛛 No 🖂	
		fore the project is completed? (see p				
		re disturbed and then left for over 14	days with no d	activity, must l	be temporarily or	
	permanently		_	_		
	BMP(s):] Hydro-mulch		eeding	
		Tackifier		etting with str	aw mulch	
		□ Other: Click here to enter text	t.			
2.23	Will the hou	se be sold without any landscaping?	1		Yes 🗌 🛛 No 🖂	
		ill you leave the site for the new hor				
		vner completes landscaping? (the pe	ermit can be te	rminated whe	n the owner occu	pies the
		hough the site is not stabilized).	_			
	BMP(s):	Mulching/Hydro-mulching	Swales	🗆 Si	lt Fence	

WattlesVegetated Buffer

□ Cut-Back-Curb □ Seeding

 $\hfill\square$ Grade Front-Yard Lower than Sidewalk

□ Other: Click here to enter text.

3. Sequence of Construction Activity

Type of Construction Activity	Approximate Date Range
Start/End of the Project	November 2022 – September 2024
Excavation activities	November 2022- June 2023
Foundation/Footings	June 2023-August 2023
Backfill	September 2023
Erection of Building	October 2023-June 2024
Utility Lines installed	August 2023
Landscaping	Spring 2024

4. Site Map

On a blank page (or include a page from the architectural drawings that show site layout and dimensions), please draw a map (and place this map in Appendix A) showing the layout of the site including locations of:

- 1. boundaries of project/property
- 2. boundaries of disturbance (including areas outside of property boundaries)
- 3. show slopes on site (if there are steep areas show steep areas)
- 4. location of structures/facilities
- 5. locations of:
 - a. stockpiles for soils and materials
 - b. construction supplies
 - c. portable toilets
 - d. garbage/trash containers
 - e. egress points/track out pads
 - f. concrete washout pits or containers
- 6. water bodies, wetlands, natural vegetative buffers
- 7. placement of all BMPs, perimeter, erosion control, sediment control, inlet protection, etc.
- 8. storm water inlets and storm water discharge points (where storm water drains off the site)
- 9. areas that will be temporarily or permanently stabilized on the site

10. areas where disturbances will be delayed to minimize total exposed surface at one time.

5. Potential Sources of Pollutants

Fill out the table below with a pollution prevention method. **Examples include:** Strategic Storage, designated washout area, use only as needed (for fertilizers, etc), or Not Applicable.

Material/Chemical	Storm Water Pollutants	Common Location*	Pollution Prevention Methods
Pesticides (insecticides, fungicides, herbicides, rodenticide)	Chlorinated hydrocarbons, organophosphates, carbamates, arsenic	Herbicides used for noxious weed control	NA – if needed will be stored offsite. Spill plans in place when brought to site.
Fertilizer	Nitrogen, phosphorous	Newly seeded areas	Applied when no rain is forecast. Stored offsite. Prevent from leaving site with vegetative buffer.
Plaster	Calcium sulphate, calcium carbonate, sulfuric acid	Building construction	Captured by onsite stormwater retention, prevented from leaving site, spills cleaned immediately
Cleaning solvents	Perchloroethylene, methylene chloride, trichloroethylene, petroleum distillates	No equipment cleaning allowed in project limits	NA – equipment will be cleaned off site
Asphalt	Oil, petroleum distillates	Streets and roofing	Stored offsite, will be immediately paved and compacted
Concrete	Limestone, sand, pH, chromium	Curb and gutter, building construction	Concrete washout
Glue, adhesives	Polymers, epoxies	Building construction	Spill prevention and cleanup plan
Paints	Metal oxides, Stoddard solvent, talc, calcium carbonate, arsenic	Building construction	Spill prevention and cleanup plan
Curing compounds	Naphtha	Curb and gutter	NA
Wood preservatives	Stoddard solvent, petroleum distillates, arsenic, copper, chromium	Timber pads and building construction	Spill prevention and cleanup plan
Hydraulic oil/fluids	Mineral oil	Leaks or broken hoses from equipment	Spill prevention and cleanup plan
Gasoline	Benzene, ethyl benzene, toluene, xylene, MTBE	Secondary containment/staging area	Spill prevention and cleanup plan

Material/Chemical	Storm Water Pollutants	Common Location*	Pollution Prevention Methods
Diesel Fuel	Petroleum distillate, oil & grease, naphthalene, xylenes	Secondary containment/staging area	Spill prevention and cleanup plan
Kerosene	Coal oil, petroleum distillates	Secondary containment/staging area	Spill prevention and cleanup plan
Antifreeze/coolant	Ethylene glycol, propylene glycol, heavy metals (copper, lead, zinc)	Leaks or broken hoses from equipment	Spill prevention and cleanup plan
Sanitary toilets	Bacteria, parasites, and viruses	Staging area	On-site portable toilet will be staked to ground, serviced regularly

*(Area where material/chemical is used on-site)

6. Spill Prevention and Response Plan

Describe who is responsible for containing and cleaning up spills. Provide a specific person's name and phone number. If a spill kit is located on site, add the location, if there is not a spill kit on site, please provide information on what to use (sand, etc) to contain spills.

Spill Plan:

All equipment and materials will be inspected daily by on-site supervisor (Mike McNulty 435-659-9765). Supervisor will be made aware of any leaks or spills immediately. Spills will be isolated and prevented from spreading. Absorbent material will be placed over the spill and allowed to soak in, then the area will be over-excavated, and the material will be transported to the appropriate disposal location.

Any discharges in 24 hours equal to or in excess of the reportable quantities listed in 40 CFR 117, 40 CFR 110, and 40 CFR 302 will be reported to the National Response Center and the Division of Water Quality (DWQ) as soon as practical after knowledge of the spill is known to the permittee. The permittee shall submit within 14 calendar days of knowledge of the release a written description of: the release (including the type and estimate of the amount of material released), the date that such release occurred, the circumstances leading to the release, and measures taken and/or planned to be taken to the Division of Water Quality (DWQ), 288 North 1460 West, P.O. Box 144870, Salt Lake City, Utah 84114-4870. The Storm Water Pollution Prevention Plan must be modified within14 calendar days of knowledge of the release, and the date of the release. In addition, the plan must be reviewed to identify measures to prevent the reoccurrence of such releases and to respond to such releases, and the plan must be modified where appropriate.

Agency	Phone Number
National Response Center	(800) 424-8802
Division of Water Quality (DWQ) 24-Hr Reporting	(801) 538-6146; (801) 536-4123
Utah Department of Health Emergency Response	(801) 580-6681

Park City Fire Department 435-940-2500	Park City Fire Depa	rtment	435-940-2500
--	---------------------	--------	--------------

Minimum spill quantities requiring reporting:

Material	Media Released To	Reportable Quantity
Engine oil, fuel, hydraulic & brake fluid	Land	25 gallons
Paints, solvents, thinners	Land	100 lbs (13 gallons)
Engine oil, fuel, hydraulic & brake fluid	Water	Visible Sheen
Refrigerant	Air	1 lb
Antifreeze, battery acid, gasoline, engine degreasers	Air, Land, Water	100 lbs (13 gallons)

Emphasis to:

1st Priority: Protect all people (including onsite staff)

- 2nd Priority: Protect equipment and property
- 3rd Priority: Protect the environment
- 1. Make sure the spill area is safe to enter and that it does not pose an immediate threat to health or safety of any person.
- Check for hazards (flammable material, noxious fumes, cause of spill) if flammable liquid, turn off engines and nearby electrical equipment. If serious hazards are present leave area and call 911. LARGE SPILLS ARE LIKELY TO PRESENT A HAZARD.
- 3. Stop the spill source and contain flowing spills immediately with spill kits, dirt or other material that will achieve containment.
- 4. Call co-workers and supervisor for assistance and to make them aware of the spill and potential dangers
- 5. If spilled material has entered a storm sewer, regardless of containment; contact the City Storm Water Division.
- Cleanup all spills (flowing or non-flowing) immediately following containment. Clean up spilled material according to manufacturer specifications, for liquid spills use absorbent materials AND DO NOT FLUSH AREA WITH WATER.
- 7. Properly dispose of cleaning materials and used absorbent material according to manufacturer specifications.
- 8. Report the reportable quantity to the Park City Storm Water Division.

Emergency Numbers

Utah Hazmat Response Officer 24 hrs	(801)-538-3745
Park City Police Department	435-615-5500
Park City Stormwater Division	(435)-615-5307

7. SWPPP, Inspections and Corrective Action Reports

Inspection Schedule and Procedures: The permit requires inspections **once a week** (see permit Part 3). You must list and provide details of your BMPs in Appendix G. **Park City allows inspection reports to be filed electronically in Utilisync.** Describe the general procedures for correcting problems when they are identified. Include responsible staff and time frames for making corrections:

Weekly inspections will be completed by Blayde McIntire of Altitude Engineering (307-679-8620). He will notify site supervisor Mike McNulty of any necessary actions. Actions will be completed within 7 days or before any storm event.

Inspections and Corrective Actions: All inspections and corrective actions must be logged in Utilisync. Corrective Actions are automatically tracked on the site. Park City will log corrective actions as "Action Items" and will appear red-flagged when you log on.

8. Training of Sub-Contractors

All sub-contractors, installers of utility connections, and others that perform activities that are affected by permit requirements will be informed about permit requirements that pertain to their scope of work.

Sub-Contractors are the Responsibility of the NOI holder. They shall be trained, and a record of that training should be kept on Utilisync.

9. Changes to the SWPPP

All changes to this SWPPP must be redlined, dated, and initialed in the SWPPP document and on the site map. Modifications to the Site Map can be logged in Utilisync. Modifications to the SWPPP can also be made in the LOG on Utilisync.

10. Record Keeping

The following items should be kept at the project site available for inspectors to review:

- 1. A copy of the Common Plan Permit (A Link is provided in Appendix B)
- 2. The signed and certified NOI form (Appendix C)
- 3. Inspection reports (In Utilisync)

11. Delegation of Authority (if any)

Duly Authorized Representatives or Positions:					
Company/Organization: Company of Represent Name: Authorized Representative Name. Position: Representative Title. Address: Click here to enter text. City: Click here to enter text. Telephone: (XXX) XXX-XXXX	State:	State (XXX) XXX-XXXX	Zip:	Zip Code	
Owner/General Contractor Signature:					
Additional Duly Authorized Representatives or Pos	itions:				
Company/Organization: Company of Represent Name: Authorized Representative Name. Position: Representative Title. Address: Click here to enter text.		State	Zin	7in Code	
City: Click here to enter text. Telephone: (XXX) XXX-XXXX		State (XXX) XXX-XXXX	Zip:	Zip Code	
Owner/General Contractor Signature:			Date	e:	

12. Discharge Information

Does your project/site discharge storm	water into a Mur	nicipal Separate Storm Sewer System (MS4)?
	🖂 Yes	🗆 No	

Municipal Storm Drain System receiving the discharge from the construction project: Park City

Receiving Waters (look up <u>http://mapserv.utah.gov/surfacewaterquality/</u> to identify your receiving water body). Examples of Receiving waters are "Silver Creek" "Weber River" "East Canyon Creek" "Bear River" "Yellow Creek"

Enter the name(s) of the first surface water(s) that receives storm water directly from your site and/or from the MS4 listed above. **Note:** *multiple rows provided in the case that your site has more than one point of discharge in which each flows to different surface waters.*

- 1. Silver Creek
- 2. Click here to enter name of receiving waters.

Impaired Waters (refer to <u>http://mapserv.utah.gov/surfacewaterquality/</u> in the left hand column to determine status of receiving water body). Examples of Impaired bodies of water are "Silver Creek" "East Canyon Creek" "Kimball Creek" "Echo Creek" "Chalk Creek"

Select any impaired surface water(s) that your site will discharge to, either directly or through the MS4 selected above.

Impaired Surface Water	Is this surface water impaired?	Pollutant(s) causing the impairment	Has a TMDL been completed?	Pollutant(s) for which there is a TMDL
Silver Creek	⊠ Yes □ No	Use Class 1C (Domestic/Drinking Water Source): E. coli, Cadmium, Arsenic, Nitrate, Nitrite + Nitrate as N; Use Class 2B (Infrequent Primary Contact Recreation): E. coli; Use Class 3A (Cold Water Fishery/Aquatic Life): Cadmium, Zinc, Benthic Invertebrate Assessment; Use Class 4 (Agriculture - crop irrigation, stock watering): Cadmium, Total Dissolved Solids (TDS)	⊠ Yes □ No	Cadmium, Zinc

13. Certification and Notification

I, Mike McNulty, certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gathered and evaluated the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.



Construction Operator:

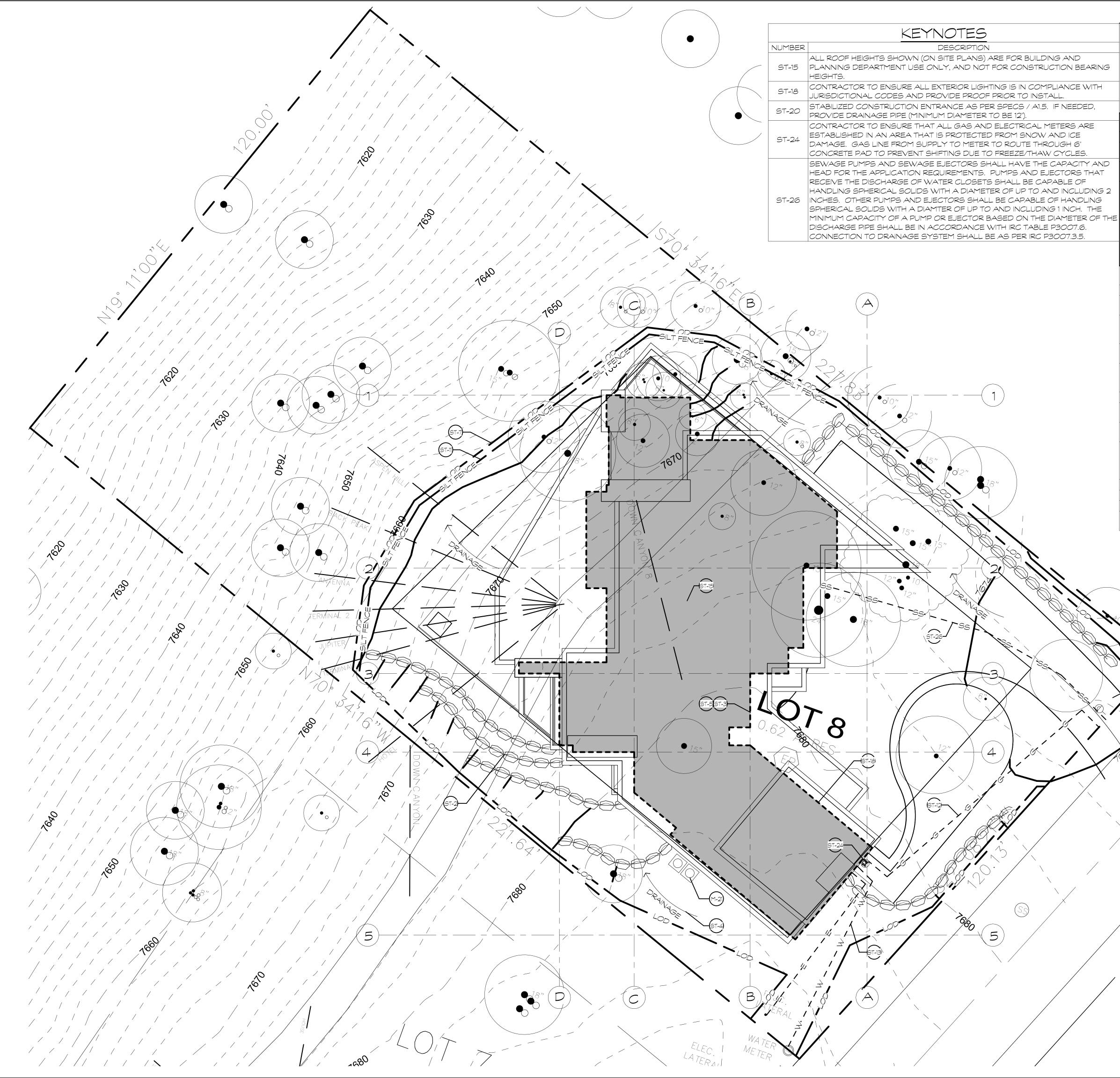
This SWPPP should be signed and certified by the construction operator(s).

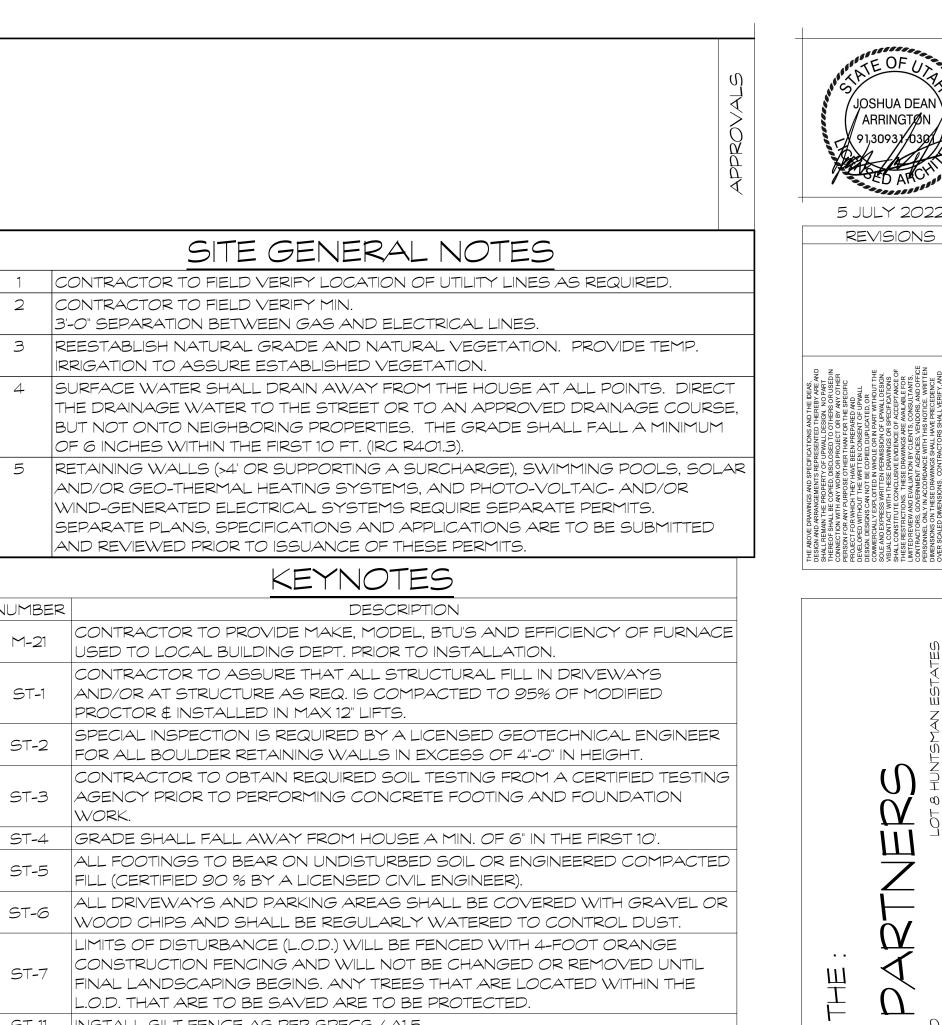
SWPPP Appendices

Ensure the following documentation is attached to the SWPPP:

- Appendix A: SWPPP Site Maps
- **Appendix B: Common Plan Permit**
- Appendix C: Notice of Intent (NOI), and a copy of the NOT form unless you plan to terminate the permit on-line
- **Appendix D: Daily Site Check Log**
- Appendix G: BMP Specifications and Details (label BMPs to match the sections identified in this document.)

APPENDIX A: SWPPP Site Maps





ST-11 |INSTALL SILT FENCE AS PER SPECS / A1.5. ST-12 SIZE GAS SERVICE AS REQUIRED. ST-13 WATER SERVICE TO BE MIN. 1-1/2" DIA. LINE.

З

5

NUMBER

M-21

ST-1

ST-2

ST-5

ST-6

ST-7

DRIVEWAY LOCATION TO BE DETERMINED IN FIELD TO MISS EXISTING TREES ST-14 AND FLOW W/ EXISTING GRADE.



 \cap

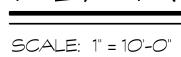
Ш

111



MAIN LEVEL 7674' - 0"

LOWER LEVEL 7662' - O" UPPER LEVEL 7686' - 0"



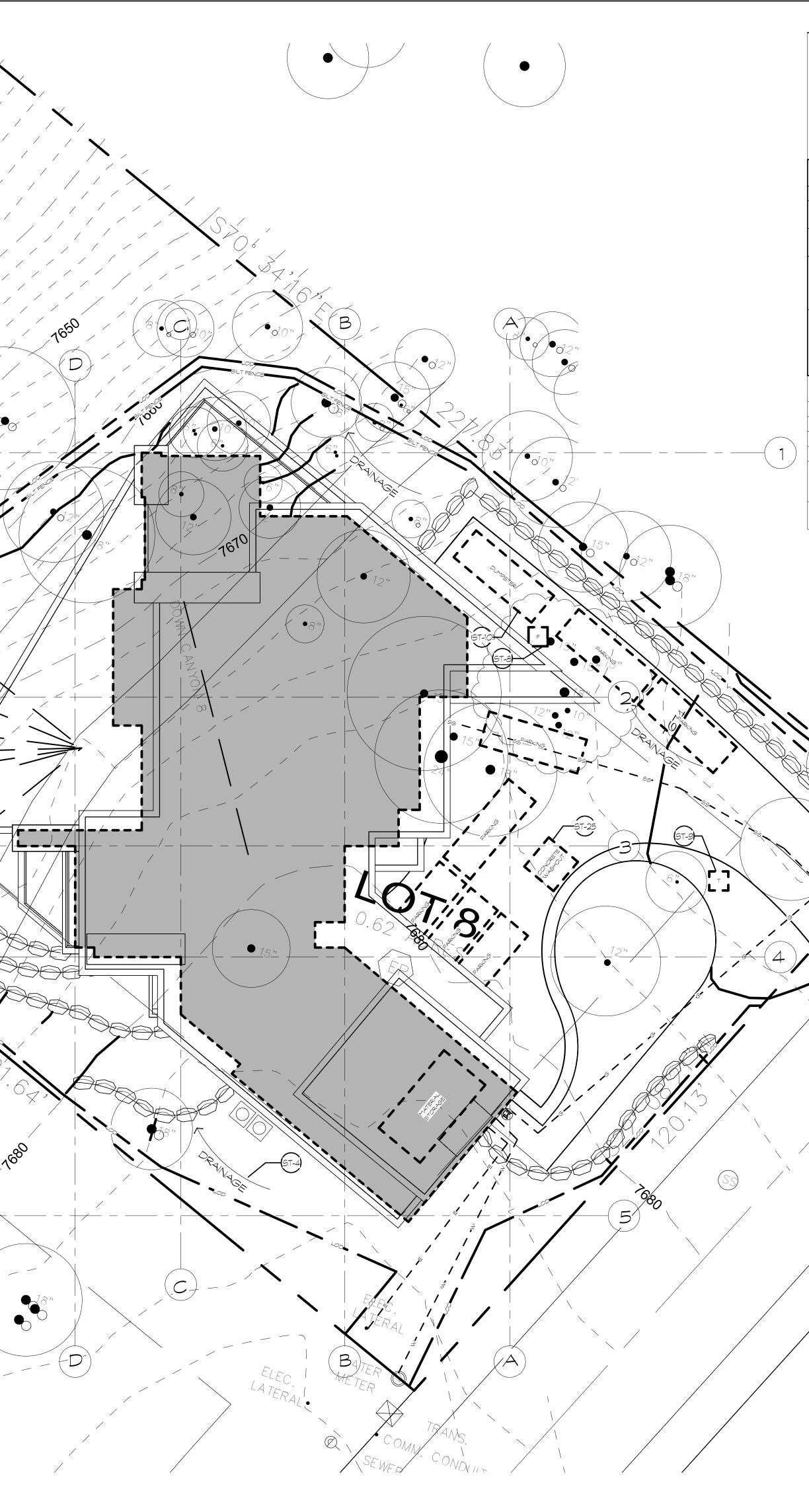
0' 2.5' 5'

10'

SITE

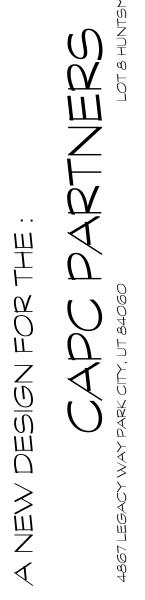
	REQUIRED INSPECTIONS		/ / / / /
INSPECTION	DESCRIPTION/REQUIREMENTS	CONTACT	
DRIVEWAY/ SITE BTAKING	REQUIRED PRIOR TO ISSUANCE OF A BUILDING PERMIT. LOCATE / STAKE THE DRIVEWAY AT THE STREET AND AT THE ROAD RIGHT OF WAY / PROPERTY LINE AND LOCATE / STAKE ALL	ENGINEERING	1000 I
	PROPERTY CORNERS WITH A 4 FOOT STEEL FENCE		
ROUGH GRADING	REQUIRED PRIOR TO SCHEDULING A FOOTING INSPECTION. SITE EROSION CONTROL MEASURES MUST BE INSTALLED AND DRIVEWAY MUST BE ROUGHLY GRADED ACCORDING TO PLAN.	ENGINEERING	
FOOTING	SCHEDULE AFTER STEEL IS IN PLACE AND BEFORE CONCRETE IS POURED.	BUILDING	
FOUNDATION	SCHEDULE AFTER STEEL IS IN PLACE IN THE FORMS AND BEFORE CONCRETE IS PLACED.	BUILDING	
UNDER SLAB PLUMBING AND HEATING	BEFORE CONCRETE IS POURED OR PLUMBING HAS BEEN BACKFILLED.	BUILDING	
CERTIFICATION OF ELEVATION AND/OR SURVEY	PERFORMED BY A LICENSED SURVEYOR. REQUIRED PRIOR TO SCHEDULING A FLOOR FRAMING INSPECTION. SEE REQUIREMENTS BELOW.	BUILDING	
FLOOR FRAMING INSPECTION	REQUIRED PRIOR TO PLACING FLOOR SHEETING AND INCLUDES FOOTING DRAIN INSPECTION.	BUILDING	
SHEAR WALL	AFTER THE BUILDING IS UP TO "THE SQUARE" AND ALL SHEAR WALLS HAVE BEEN NAILED AND ALL THE TIE DOWNS AND SHEAR WALL CONNECTIONS HAVE BEEN INSTALLED.	BUILDING	
FIRE SPRINKLERS	REQUIRED PRIOR TO FOUR-WAY INSPECTION, WHEN REQUIRED BY THE LOCAL FIRE DISTRICT.	BUILDING	
FOUR-WAY	THIS INSPECTION IS PERFORMED AFTER ALL ROUGH ELECTRICAL, PLUMBING, AND MECHANICAL HAVE BEEN INSTALLED, ALL FRAMING IS COMPLETE,	BUILDING	
	SHEAR WALLS PREVIOUSLY INSPECTED, AND TRUSS SPECIFICATIONS ARE ON THE JOB FOR THE INSPECTOR TO READ. PLUMBING SHALL HAVE EITHER AN AIR OR WATER PRESSURE TEST ON THEM WHEN THE INSPECTOR ARRIVES		
WEATHER BARRIER / STUCCO LATH		BUILDING	650
GAS METER SET	REQUIRED BEFORE GAS METER CLEARANCE IS GIVEN TO DOMINION ENERGY.	BUILDING	
MASONRY WALL / BOND BEAM	STEEL IN MASONRY AND BEFORE CONCRETE/GROUT IS POURED.	BUILDING	ACR PEAKI S
INSULATION	PRE-SHEETROCK INSULATION CERTIFICATE REQUIRED.	BUILDING	
DRYWALL NAILING	THIS IS TO BE DONE BEFORE DRYWALL IS TAPED.	BUILDING	
POWER TO PANEL	BUILDING MUST BE UP WITH PERMANENT ROOF INSTALLED.	BUILDING	
DRIVEWAY PRE-SURFACING	SITE EROSION CONTROL MEASURES MUST BE INSTALLED AND DRIVEWAY GRADED TO ITS FINAL CONFIGURATION.	ENGINEERING	
FINAL DRIVEWAY AND SITE INSPECTION	REQUIRED PRIOR TO CERTIFICATE OF OCCUPANCY AND/OR BOND RELEASE. DRIVEWAY MUST BE SURFACED AND SITE MUST BE RE-VEGETATED (INSPECTIONS MAY BE SCHEDULE SEPARATELY).	ENGINEERING	YL 2 / HO OF HE TER/ HI TER/ HI T
FLOOD PLAIN ELEVATION CERTIFICATE	FEMA ELEVATION CERTIFICATE (IF APPLICABLE) REQUIRED PRIOR TO CERTIFICATE OF OCCUPANCY. FORM MUST BE FILED WITH FEMA AND A COPY PROVIDED TO THE ENGINEERING DEPARTMENT.	ENGINEERING	
FINAL CERTIFICATE OF OCCUPANCY	ALL WORK IS DONE AND BUILDING COMPLETE. REQUIRED PRIOR TO ANYONE OCCUPYING THE STRUCTURE. A CERTIFICATE OF OCCUPANCY WILL BE ISSUED ONCE THE FINAL CLEARANCES HAVE BEEN OBTAINED BY THE BUILDER AND BROUGHT TO THE BUILDING DEPARTMENT'S OFFICE IN COALVILLE 1) SNYDERVILLE BASIN RESIDENTIAL: FINAL FROM BUILDING DEPARTMENT, FINAL FROM ENGINEERING DEPARTMENT, FINAL LETTER FROM SNYDERVILLE BASIN WATER RECLAMATION DISTRICT, FINAL WATER CONCURRENCY LETTER FROM APPROPRIATE WATER COMPANY, FINAL FROM PARK CITY FIRE DISTRICT (IN REQUIRED SUBDIVISIONS). 2) EASTERN SUMMIT COUNTY: FINAL FROM	BUILDING BUILDING	A MUNC ANYO
	BUILDING DEPARTMENT, FINAL FROM ENGINEERING DEPARTMENT, FINAL FROM FIRE DISTRICT AND FINAL FROM HEALTH DEPARTMENT.		

5



	APROVALS	JOSHUA DEAN ARRINGTON 91,3093/030/5
		5 JULY 2022 REVISIONS
	SITE GENERAL NOTES	
1 (CONTRACTOR TO FIELD VERIFY LOCATION OF UTILITY LINES AS REQUIRED.	
_	CONTRACTOR TO FIELD VERIFY MIN. 3'-0" SEPARATION BETWEEN GAS AND ELECTRICAL LINES.	
_	REESTABLISH NATURAL GRADE AND NATURAL VEGETATION. PROVIDE TEMP. RRIGATION TO ASSURE ESTABLISHED VEGETATION.	
Ē	SURFACE WATER SHALL DRAIN AWAY FROM THE HOUSE AT ALL POINTS. DIRECT THE DRAINAGE WATER TO THE STREET OR TO AN APPROVED DRAINAGE COURSE, BUT NOT ONTO NEIGHBORING PROPERTIES. THE GRADE SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FT. (IRC R401.3).	ATIONS AND THE DEAS RESULTIONS AND THE DEAS RESULT DEREREY NO PART SED TO OTHERS OR NO PART FILMS OF THE SECLED THAN FOR THE SECLED TO DEULCATE OR HOW MISS ARE ANALINE. FOR AN ANT PART WITH NOTICE. WATT WITH NOTICE. WATT WATT NOTICE. WATT WATT NOTICE WATT WATT NOTICE. WATT WATT NOTICE WATT WATT NOTICE. WATT WATT NOTICE WATT WATT NOTICE WATT WATT NOTICE. WATT NOTICE.
	RETAINING WALLS (>4' OR SUPPORTING A SURCHARGE), SWIMMING POOLS, SOLAR AND/OR GEO-THERMAL HEATING SYSTEMS, AND PHOTO-VOLTAIC- AND/OR WIND-GENERATED ELECTRICAL SYSTEMS REQUIRE SEPARATE PERMITS. BEPARATE PLANS, SPECIFICATIONS AND APPLICATIONS ARE TO BE SUBMITTED AND REVIEWED PRIOR TO ISSUANCE OF THESE PERMITS.	The second provinces and specific and the second provinces and specific and show the second provinces and specific and show the second province of the second pr
	<u>KEYNOTES</u>	
NUMBER	DESCRIPTION	
ST-1	GRADE SHALL EALL A))/AY FROM HOUSE A MINL OF 6" IN THE FIRST 10'	

DESCRIPTION
GRADE SHALL FALL AWAY FROM HOUSE A MIN. OF 6" IN THE FIRST 10'.
A FIRE EXTINGUISHER SHALL BE KEPT ON SITE AT ALL TIMES.
A PORTABLE TOILET SHALL BE ON SITE AT ALL TIMES.
A TRASH BIN WILL BE ON SITE AT ALL TIMES AND WILL BE DUMPED ON A REGULAR BASIS. IT IS THE RESPONSIBILITY OF ALL THE WORKERS TO KEEP THE SITE CLEAN AT ALL TIMES.
CONCRETE WASHOUT ECO-PAN OR EQUIVALENT. CONTRACTOR TO ASSURE ALL E.P.A. STANDARDS ARE MET.





A1.3 CONSTRUCTION MITIGATION PLAN

CONSTRUCTION MITIGATION



SCALE: 1" = 10'-0"

0' 5' 10' 20' 40'

APPENDIX B: Common Plan Permit

Find the permit on <u>https://deq.utah.gov/water-quality/general-construction-storm-water-updes-permits</u>

APPENDIX C: Notice of Intent and Termination.

Find the Notice of Termination Form at <u>https://deq.utah.gov/water-quality/general-construction-</u> storm-water-updes-permits

However, termination of the project can be done on-line at https://secure.utah.gov/stormwater

(You must log in using the same username that you applied for your NOI with. If you completed a paper NOI you must complete a paper NOT.)



Notice of Intent (NOI) for Storm Water Discharges Associated with Construction Activity Under the Common Plan Permit (CPP) UPDES General Permit No. UTRH00000

NOI

~

Permit Information

Master Permit Number: UTRH00000

UPDES ID: UTRH05833

State/Territory to which your project/site is discharging: UT

Is your project/site located on federally recognized Indian Country Lands? $\underline{\mathsf{No}}$

Which type of form would you like to submit? Notice of Intent (NOI)

Have stormwater discharges from your project/site been covered previously under an UPDES permit? No

ZIP/Postal Code: 84060

County or Similar Division: Summit

Has a Stormwater Pollution Prevention Plan (SWPPP) been prepared in advance of filling this NOI, as required? Yes						
Owner/Operator Information			~			
Status of Owner: Private						
Owner Mailing Address: Address Line 1: 1526 W Ute Blvd Ste 206						
Address Line 2:		City: Park City				
ZIP/Postal Code: 84098		State: UT				
Owner Point of Contact Information						
First Name Middle Initial Last Name: Mike McNulty						
Title: Site Supervisor and Owner						
Phone: 435-659-9765	Ext.:					
Email: mike@mmconst.com						
Operator Information						
Is the Operator Information the same as the Owner Information? \underline{Ye}	s					
NOI Preparer Information						
$\overline{\mathbf{v}}$ This NOI is being prepared by someone other than the certifier.						
First Name Middle Initial Last Name: Blayde McIntire						
Organization: Altitude Engineering						
Phone: (307) 679-8620	Ext.:					
Email: blayde.mcintire@gmail.com						
Project/Site Information			~			
Project/Site Name: Lot 8 Huntsman Estates						
Project Number:						
Project/Site Address						
Address Line 1: 4867 Legacy Way						
Address Line 2:		City: Park City				

State: UT

Have you submitted a Fugitive Dust Control Plan to UT Division of Air Qual	ity? <u>No</u>	
Latitude/Longitude for the Project/Site		
Latitude/Longitude: 40.632947°N, 111.49278°W		
	nated Project End Date: 11/30/2024	Total Area of Plot (in Acres): 0.62
Estimated Area to be Disturbed (in Acres): 0.36		
Proposed Best Management Practices If Silt Fence/Straw Wattle/Perimeter Controls Seeding/Preservation of Vegetation Proposed Good Housekeeping Practices Sanitary/Portable Toilet Washout Areas Construction Chemicals/Building Supplies Storage Area Garbage/Waste Disposal		
☑ Track Out Controls		
☑ Spill Control Measures		
Site Activity Information		•
Municipal Separate Storm Sewer System (MS4) Operator Name: Park City		
Receiving Water Body: Silver Creek		
✤ This is known		
What is the estimated distance to the nearest water body? 0.91		Unit: Miles
Is the receiving water designated as impaired? Yes		
Will any part of the project area be located within 50 feet of any Water of th	e State? No	
Does this project site have any other UPDES permits? No		
Certification Information		¥
I certify under penalty of law that this document and all attachments were prepar evaluated the information submitted. Based on my inquiry of the person or perso of my knowledge and belief, true, accurate, and complete. I have no personal kn submitting false information, including the possibility of fine and imprisonment for action.	ns who manage the system, or those persons directly responsible for owledge that the information submitted is other than true, accurate,	or gathering the information, the information submitted is, to the best and complete. I am aware that there are significant penalties for

Certified By: Mike McNulty

Certifier Title: Owner

Certifier Email: mike@mmconst.com

Certified On: 09/15/2022 5:43 PM ET

APPENDIX D: Daily Self-Inspection Log (permit part 3.2.2).

	Daily Inspection Log						
Date	Initials	Date	Initials	Date	Initials	Date	Initials

Delegation of Authority

I, ______ (name), hereby designate the person or specifically described position below to be a duly authorized representative for the purpose of overseeing compliance with environmental requirements, including the Common Plan Permit, at the

_____ construction site. The designee is authorized to sign any reports, stormwater pollution prevention plans and all other documents required by the permit.

______ (name of person or position)
______ (company)
______ (address)
______ (city, state, zip)
______ (phone)

By signing this authorization, I confirm that I meet the requirements to make such a designation as set forth in ______ (Reference State Permit), and that the designee above meets the definition of a "duly authorized representative" as set forth in ______ (Reference State Permit).

I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gathered and evaluated the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

Name:

Company:

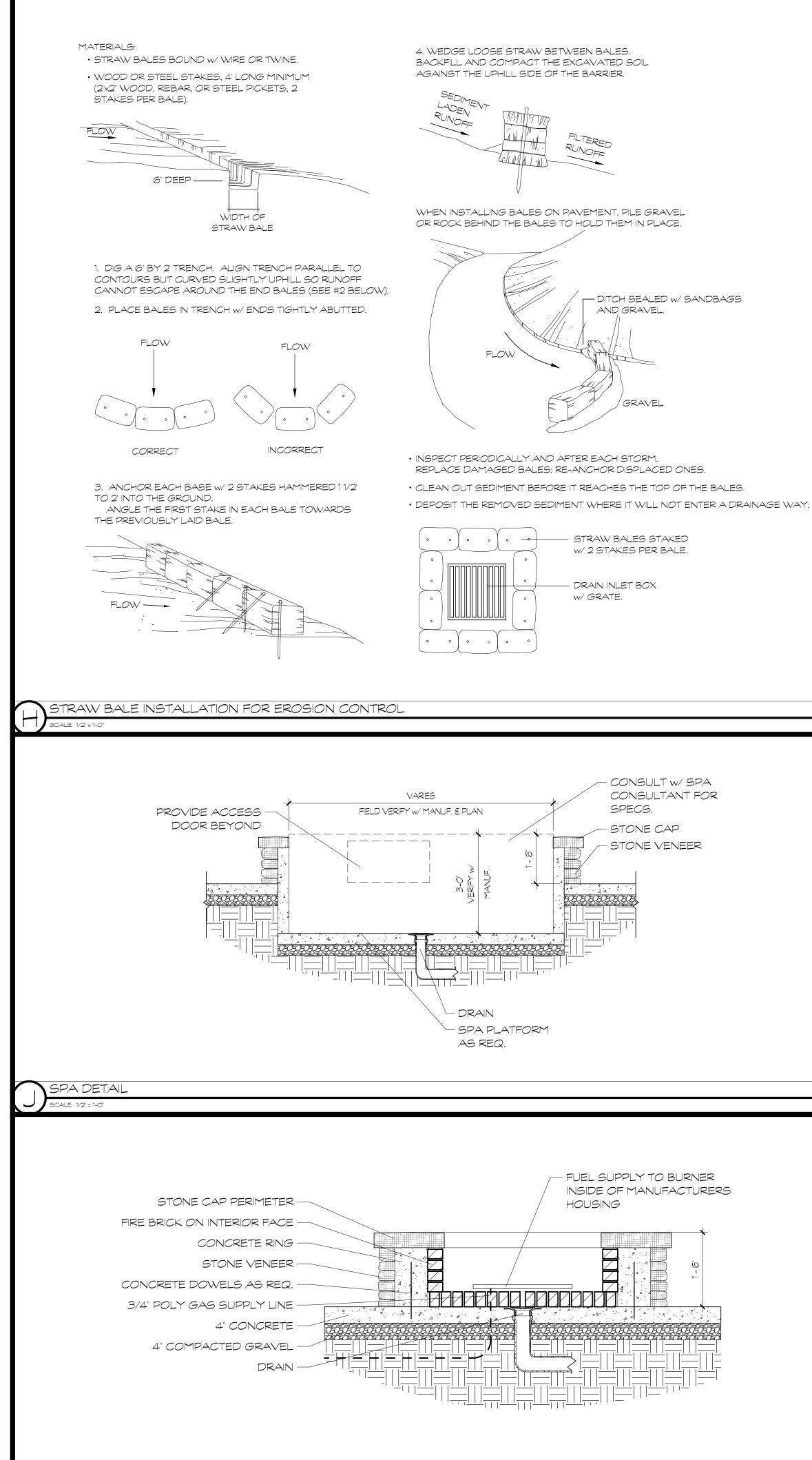
Title:

Signature:

Date:

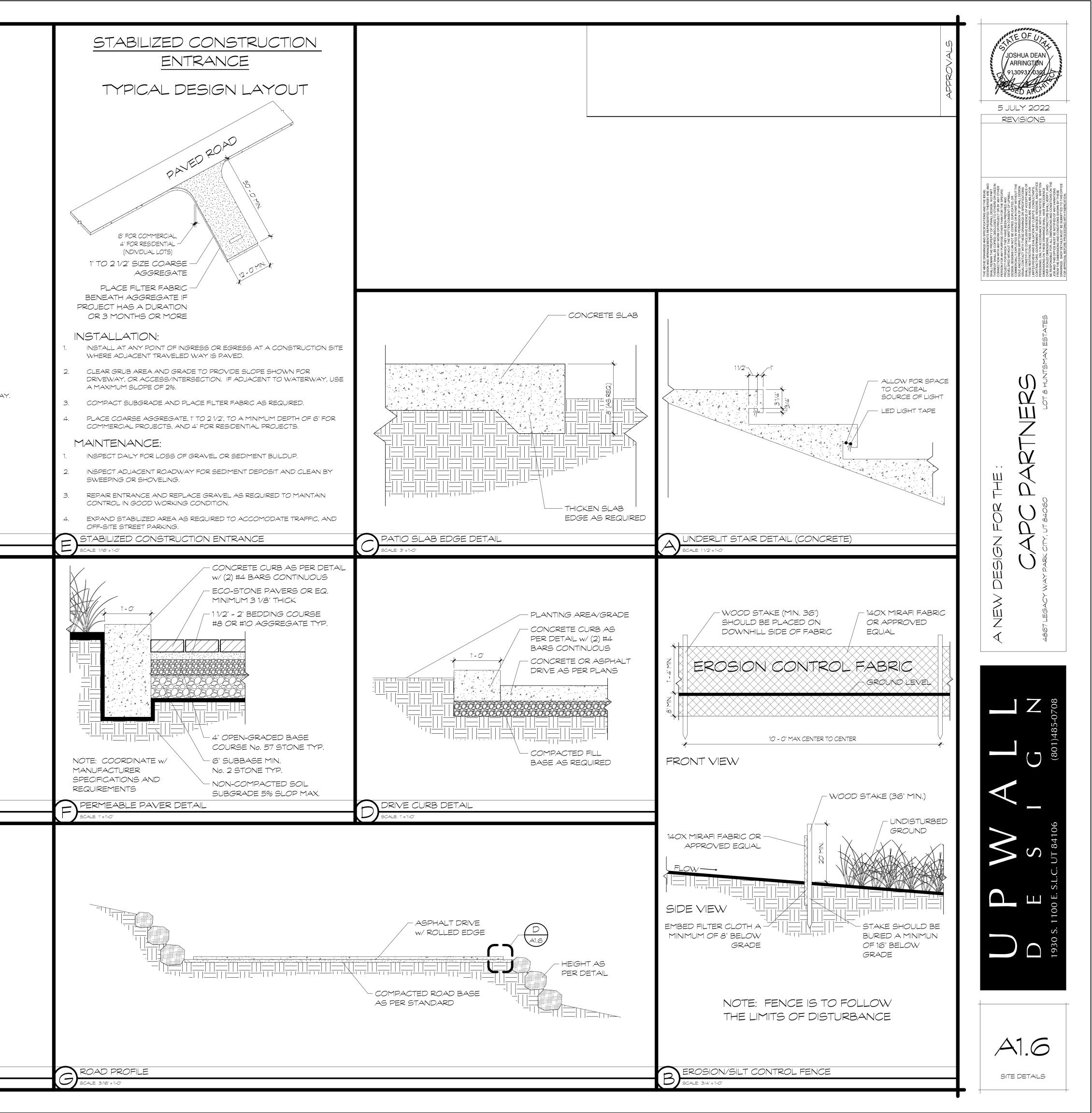
APPENDIX G: BMP Specifications and Details

Label BMPs to match the sections identified in this document.



FIREPIT DETAIL

CALE: 3/4" = 1-0



Below are links to various Construction Storm Water BMP Manuals for reference.

Salt Lake County

http://slco.org/uploadedFiles/depot/publicWorks/engineering/final_bmp_constructi.pdf BEST MANAGEMENT PRACTICES FOR CONSTRUCTION ACTIVITIES

Davis County

<u>http://www.daviscountyutah.gov/docs/librariesprovider20/default-document-library/stormwater-best-management-practices.pdf?sfvrsn=c9cd4053_2</u> A Guide to Stormwater Best Management Practices

Nevada DOT

<u>https://www.nevadadot.com/home/showdocument?id=9417</u> Stormwater Quality Manuals: Construction Site Best Management Practices (BMPs) Manual

Caltrans

http://www.dot.ca.gov/hq/construc/stormwater/CSBMP-May-2017-Final.pdf Construction Site Best Management Practices (BMP) Manual

Oregon

http://www.oregon.gov/deq/FilterPermitsDocs/BMPManual.pdf Construction Stormwater Best Management Practices Manual

Los Angeles

http://dpw.lacounty.gov/cons/specs/BMPManual.pdf Construction Site Best Management Practices (BMPs) Manual

Maricopa County (Arizona) <u>https://www.maricopa.gov/DocumentCenter/View/2368/2015-03-Drainage-Design-Manual-for-Maricopa-County-Volume-III-Erosion-pdf</u> Drainage Design Manual for Maricopa County (Erosion Control)

Minnesota <u>https://www.pca.state.mn.us/sites/default/files/wq-strm2-09.pdf</u> Stormwater Compliance Assistance Toolkit for Small Construction Operators